



City of Canal Winchester

36 South High Street
Canal Winchester, Ohio 43110
Development Department
Phone (614) 837-7501 Fax (614) 837-0145

VARIANCE APPLICATION

rev. 09/24/2013

PROPERTY OWNER

Name 7890 Robinett LLC.

Address 6850 Commerce Court Drive, Blacklick, OH. 43004

Daytime Phone 614-861-6000

Email _____

APPLICANT

Name Chad Violet

Address 8155 Howe Industrial Parkway, Canal Winchester, OH

Daytime Phone 740-412-7079

Email cviolet@buckeyepowersales.com

Address of Subject Property 7890 Robinett Way, Canal Winchester, OH

Current Zoning LM

Variance Request to Section 1185.04 D

Requested Variance Allow new 123' x 144' gravel yard for equipment storage (seen on plan)

Attach a legal description and current survey (within 2 years) of the subject property and all supporting materials as required by Section 1147.02(c) (see attachment). Additional information may be required by the Planning and Zoning Administrator or the Planning and Zoning Commission.

I certify that the information provided with this application is correct and accurate to the best of my ability.

Property Owner's or Authorize Agent' Signature

Date

DO NOT WRITE BELOW THIS LINE

Date Received: ____ / ____ / ____

Fee: \$ _____
Paid ☐

Historic District: ____ Yes ____ No

Preservation District: ____ Yes ____ No

Date of Action: ____ / ____ / ____

Application ____ No

Expiration Date: ____ / ____ / ____

Approved: ____ Yes

____ Yes, with conditions

Tracking Number: VA - _____

Adjacent Property Owners of
Buckeye Power Sales
7890 Robinett Way
Canal Winchester, OH 43110

Cam Logistics
7800 Robinett Way
Canal Winchester, OH 43110

Parcel #: 0420376020

Nifco
7877 Robinett Way
Canal Winchester, OH 43110

Parcel #: 0420376030 &
Parcel #: 0420376040

EXHIBIT "A" LEGAL DESCRIPTION

File No.: 496614

Situated in the State of Ohio, County of Fairfield, City of Canal Winchester, in Section 20, Township 15 North, Range 20 West, Congress Lands, and being a 2.833 acre portion of an original 98.989 acre tract of land conveyed, as Tract 1, to Village of Canal Winchester, by deed of record in Deed Book 639, Page 273 and a 0.167 acre portion of an original 83.5856 acre tract of land conveyed to Village of Canal Winchester, by deed of record in Deed Book 646, Page 849, all references being to the Recorder's Office, Fairfield County, Ohio, and bounded and described as follows:

Beginning, for reference, at a $\frac{3}{4}$ " solid iron pin with punch found at the PC/PT of the centerline of Robinett Way (70 feet in width), said iron pin being S 35° 33' 42" W, along the centerline of Robinett Way, a distance of 535.03 feet from the intersection of the centerline of Robinett Way with the centerline of Dove Parkway (80 feet in width), as shown upon the plat entitled Robinett Way and Dove Parkway Dedication and Easements, of record in Plat Cabinet 3, Slot 1;

Thence N 54° 26' 18" W perpendicular to the centerline of Robinett Way a distance of 35.00 feet to a $\frac{3}{4}$ " I.D. iron pipe found at a point of curvature in the northerly right of way line of Robinett Way and at the true place of beginning of the tract herein intended to be described;

Thence southwesterly, along the curved northerly right of way line of Robinett Way and with a curve to the right, data of which is: radius = 215.00 feet, and delta = 59° 10' 10", arc length = 222.03 feet, a chord distance of 212.30 feet bearing S 65° 08' 47" W to a $\frac{3}{4}$ " I.D. iron pipe found at the point of tangency;

Thence N 85° 16' 08" W along the north right of way line of Robinett Way a distance of 205.38 feet to a $\frac{3}{4}$ " I.D. iron pipe set;

Thence N 04° 43' 52" E crossing a portion of said original 98.989 acre tract and perpendicular to the north right of way line of Robinett Way a distance of 382.32 feet to a $\frac{3}{4}$ " I.D. iron pipe set in the north line of said original 98.989 acre tract;

Thence S 85° 14' 37" E along a portion of the north line of said original 98.989 acre tract a distance of 152.69 feet to a $\frac{3}{4}$ " I.D. iron pipe set;

Thence S 54° 26' 18" E crossing a portion of said original 98.989 acre tract and perpendicular to the northwesterly right of way line of Robinett Way a distance of 345.95 feet to a $\frac{3}{4}$ " I.D. iron pipe set in the northwesterly right of way line of Robinett Way;

Thence S 35° 33' 42" W along the northwesterly right of way line of Robinett Way a distance of 116.61 feet to the true place of beginning;

Containing 3.000 acres of land, more or less.

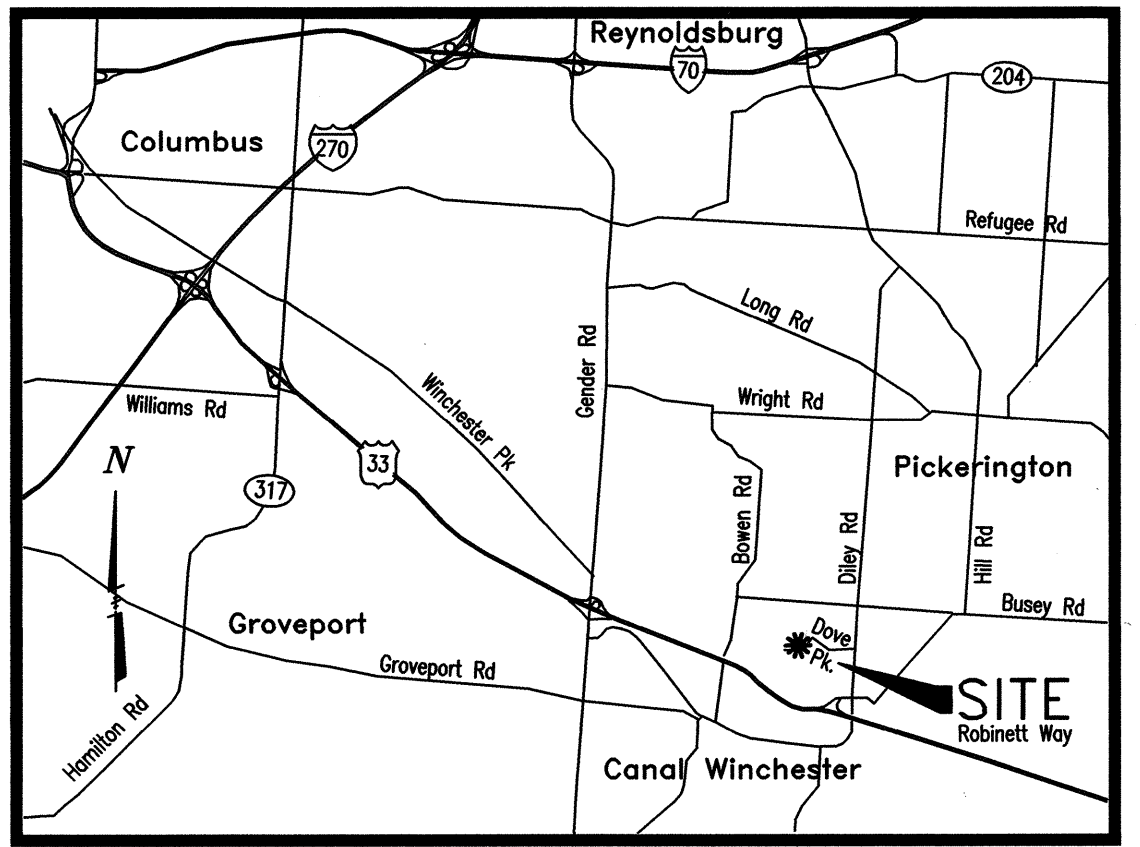
The above description was prepared by Kevin L. Baxter, Ohio Surveyor No. 7697, of C.F. Bird & R.J. Bull, Inc., Consulting Engineers & Surveyors, Columbus, Ohio from an actual field survey, performed under his supervision, in August 2013. $\frac{3}{4}$ " I.D. iron pipe set are 30" in length with a plastic cap stamped "BIRD & BULL, INC.". Basis of bearings is the centerline of Robinett Way southwesterly from Dove Parkway, being S 35° 33' 42" W, as shown upon the plat entitled Robinett Way and Dove Parkway Dedication and Easements, of record in Plat Cabinet 3, Slot 1, Recorder's Office, Franklin County, Ohio and all other bearings are based upon this meridian.

Parcel Number 042-03760.10

DESCRIPTION REVIEWED AND APPROVED
FOR TRANSFER ONLY, FAIRFIELD COUNTY
AUDITOR/ENGINEER TAX MAPS:

BY CLT DATE 9-6-19
042-03760-10

SITE IMPROVEMENT PLANS FOR
REI TELECOM
OFFICE / WAREHOUSE DEVELOPMENT
7890 ROBINETT WAY
CANAL WINCHESTER, OHIO 43110
MARCH, 2014



LOCATION MAP
NO SCALE

PROJECT DESCRIPTION:

PROVIDE ALL IMPROVEMENTS FOR THE CONSTRUCTION OF AN OFFICE/WAREHOUSE FACILITY WITH VEHICLE PARKING AND TRUCK ACCESS. THESE IMPROVEMENTS SHALL ADD IMPERVIOUS AREA ON THE PROPOSED 3.0 ACRE SITE. THE COMPLETED SITE WILL PROVIDE THE REQUIRED STORM WATER VOLUME NEEDED TO ACCOMMODATE THE PROPOSED IMPROVEMENT, IN COMPLIANCE WITH THE CURRENT CITY OF CANAL WINCHESTER REQUIREMENTS.

OWNER / DEVELOPER:

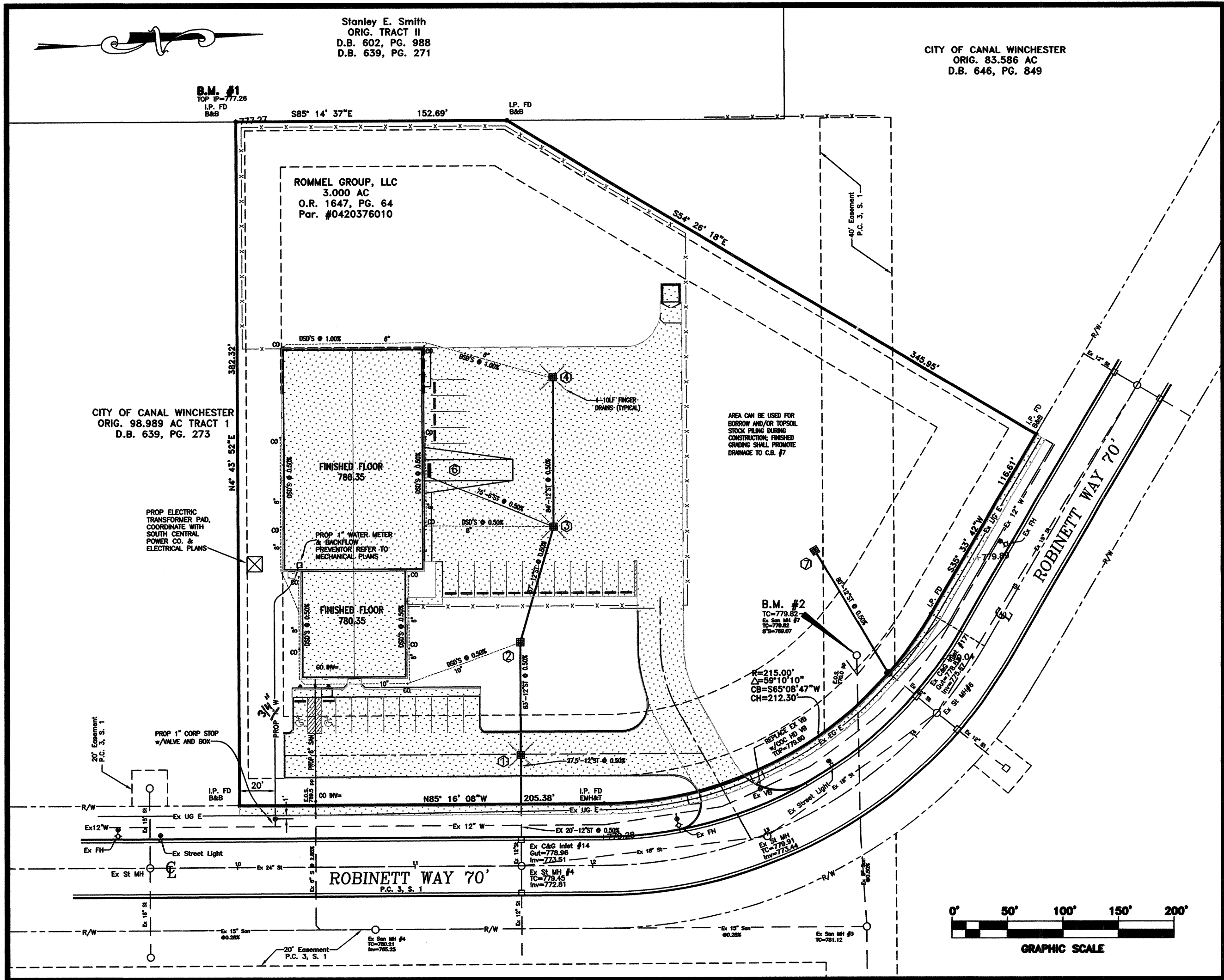
ROMMEL GROUP, LLC.
PO BOX 358
GROVEPORT, OHIO 43125
CONTACT: TIM ROEHRENBECK
PH: 614-492-8338
tjr@reitelem.com

CONTRACTOR:

ELTER BUILDERS SYSTEMS, INC.
PO BOX 204
SUNBURY, OHIO 43074
Contact: JIM ELTER
Ofc: 740-965-3365
Cell: 614-314-7627
jimelter@elterbldg.com

FLOOD DESIGNATION

ACCORDING TO F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 39045C0110G DATED JANUARY 6, 2012 THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.



INDEX MAP
SCALE: 1" = 50'

BENCH MARKS

NAVD 88 DATUM

SOURCE BENCH MARK, ELEVATION OBTAINED USING TOPCON RTK GPS EQUIPMENT AND OHIO DEPARTMENT OF TRANSPORTATION CORRS/VRS NETWORK, NAVD 1988.

BENCH MARK #1 ~ TOP OF IRON PIN AT THE NORTHWEST CORNER OF 3.000 ACRE TRACT. ELEV.=777.26

BENCH MARK #2 ~ TOP OF CASTING NORTH RIM OF SANITARY SEWER MANHOLE, NORTH SIDE OF ROBINETT WAY, IN SE CORNER OF 3.000 ACRE TRACT. ELEV.=779.82

STANDARD DRAWINGS

THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF.

CITY OF CANAL WINCHESTER		CITY OF COLUMBUS	
SAN-05-01	ST-01-01	STD DWG 2319	
SAN-06-01	ST-02-01	STD DWG 2220	
SAN-07-01	ST-03-01	STD DWG 2300	
W-06A-01	ST-05-02	STD DWG L-6316	
W-07-01	ST-06-01		
	ST-08-02		

DRAWING SET STATUS

<input checked="" type="checkbox"/>	PRELIMINARY ENGINEERING SET	03-01-14
<input checked="" type="checkbox"/>	CITY REVIEW SET	05-15-14
<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENT SET	05-27-14
<input type="checkbox"/>	AS-CONSTRUCTED DOCUMENT SET	

CHANGE ORDER SCHEDULE

CHANGE	PREPARED	DATE OF CHANGE	DESCRIPTION OF CHANGE	SHT NO	APPROVED	DATE OF APPROVAL



ANY INFORMATION OR DATA ON THIS DRAWING IS NOT INTENDED TO BE SUITABLE FOR REUSE BY ANY PERSON, FIRM OR CORPORATION OR ANY OTHERS ON EXTENSIONS OF THIS PROJECT OR FOR ANY USE ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION AND ADAPTION BY THE ENGINEER, ARCHITECT OR SURVEYOR FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE ENGINEER, ARCHITECT OR SURVEYOR.

SHEET INDEX

- COVER SHEET
- GENERAL NOTES & QUANTITIES
- TOPOGRAPHIC MAP
- SITE LAYOUT PLAN
- COMPOSITE UTILITIES & PROFILES
- SITE GRADING PLAN
- SWPP PLAN
- SWPP DETAILS

City Officials

Michael Ebert, Mayor
Amanda Jackson, Finance Director
Matthew C. Peoples, Director Of Public Service
William E. Sims, Construction Services Administrator
Lucas M. Haire, Development Director

City Council Members

Rick Deeds, President
Joe Abbott, Vice President
William Bennett
Steve Donahue
Bobbie Merston
Marilyn Rush-Ekelberry
James Wynkoop

APPROVALS

THE CITY OF CANAL WINCHESTER ENGINEER'S DESIGN, CONSTRUCTION AND SURVEYING STANDARDS, THE CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE CITY OF COLUMBUS, CURRENT EDITION, INCLUDING STANDARD DRAWINGS AND SUPPLEMENTAL SPECIFICATIONS LISTED SHALL GOVERN THIS IMPROVEMENT.

SIGNATURES BELOW SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSE AND GENERAL LOCATION OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE DESIGN ENGINEER PREPARING THE PLANS.

FOR THE CITY OF CANAL WINCHESTER:

Michael Ebert 6-10-14
MAYOR, CITY OF CANAL WINCHESTER DATE
Matthew C. Peoples 6-10-14
DIRECTOR OF PUBLIC SERVICE, CITY OF CANAL WINCHESTER DATE
Lucas M. Haire 6/10/14
SUPERINTENDENT, DIVISION OF WATER DATE
Stuart E. Wilms 6/10/14
SUPERINTENDENT, DIVISION OF WATER RECLAMATION DATE
Stuart E. Wilms 6-9-14
SUPERINTENDENT, DIVISION OF STREETS, LANDS AND BUILDINGS DATE
Jim B... 6/10/14
MUNICIPAL ENGINEER, CITY OF CANAL WINCHESTER DATE

PLANS PREPARED BY:

SITE ENGINEERING
Incorporated
Civil Engineers & Surveyors

Site Engineering Inc
7453 East Main Street
Reynoldsburg, Ohio 43068
Phone : (614) 759-9900
eMail : siteeng@ameritech.net

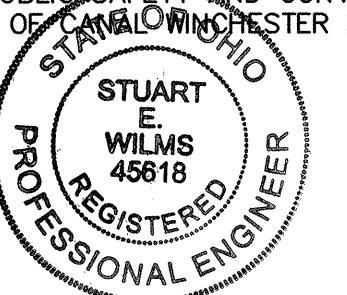
#3758

DESIGN ENGINEER

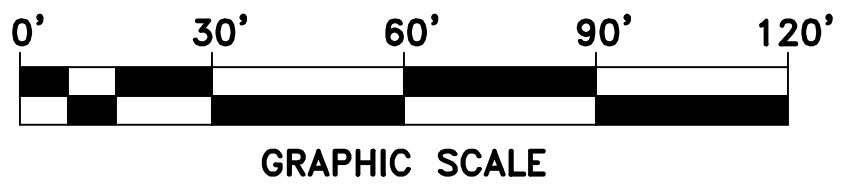
THIS IS TO CERTIFY THAT GOOD ENGINEERING PRACTICES HAVE BEEN UTILIZED IN THE DESIGN OF THIS PROJECT AND THAT ALL MINIMUM STANDARDS AS DELINEATED IN THE CITY OF CANAL WINCHESTER DESIGN, CONSTRUCTION AND SURVEYING STANDARDS MANUAL HAVE BEEN MET, INCLUDING THOSE STANDARDS GREATER THAN MINIMUM WHERE, IN OUR OPINION, THEY ARE NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. ANY VARIANCES TO THE ABOVE STANDARDS ARE CONSISTENT WITH SOUND ENGINEERING PRACTICE AND ARE NOT DETRIMENTAL TO THE PUBLIC SAFETY AND CONVENIENCE. THESE VARIANCES HAVE BEEN LISTED HEREIN AND HAVE BEEN APPROVED BY THE CITY OF CANAL WINCHESTER ENGINEER.

Stuart E. Wilms
Stuart E. Wilms, P.E.
Registered Professional Engineer No. 45618

5-28-14
Date



Stanley E. Smith
ORIG. TRACT II
D.B. 602, PG. 988
D.B. 639, PG. 271

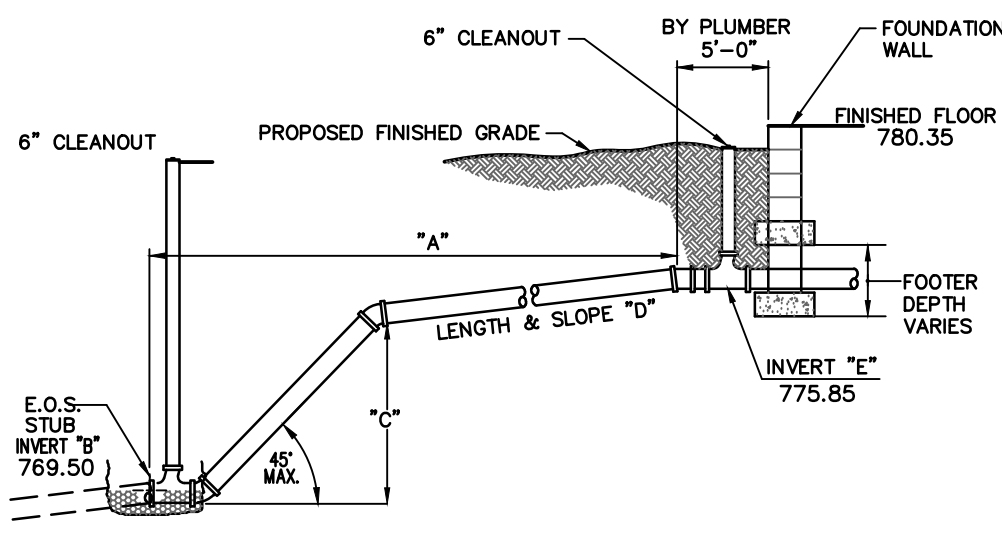
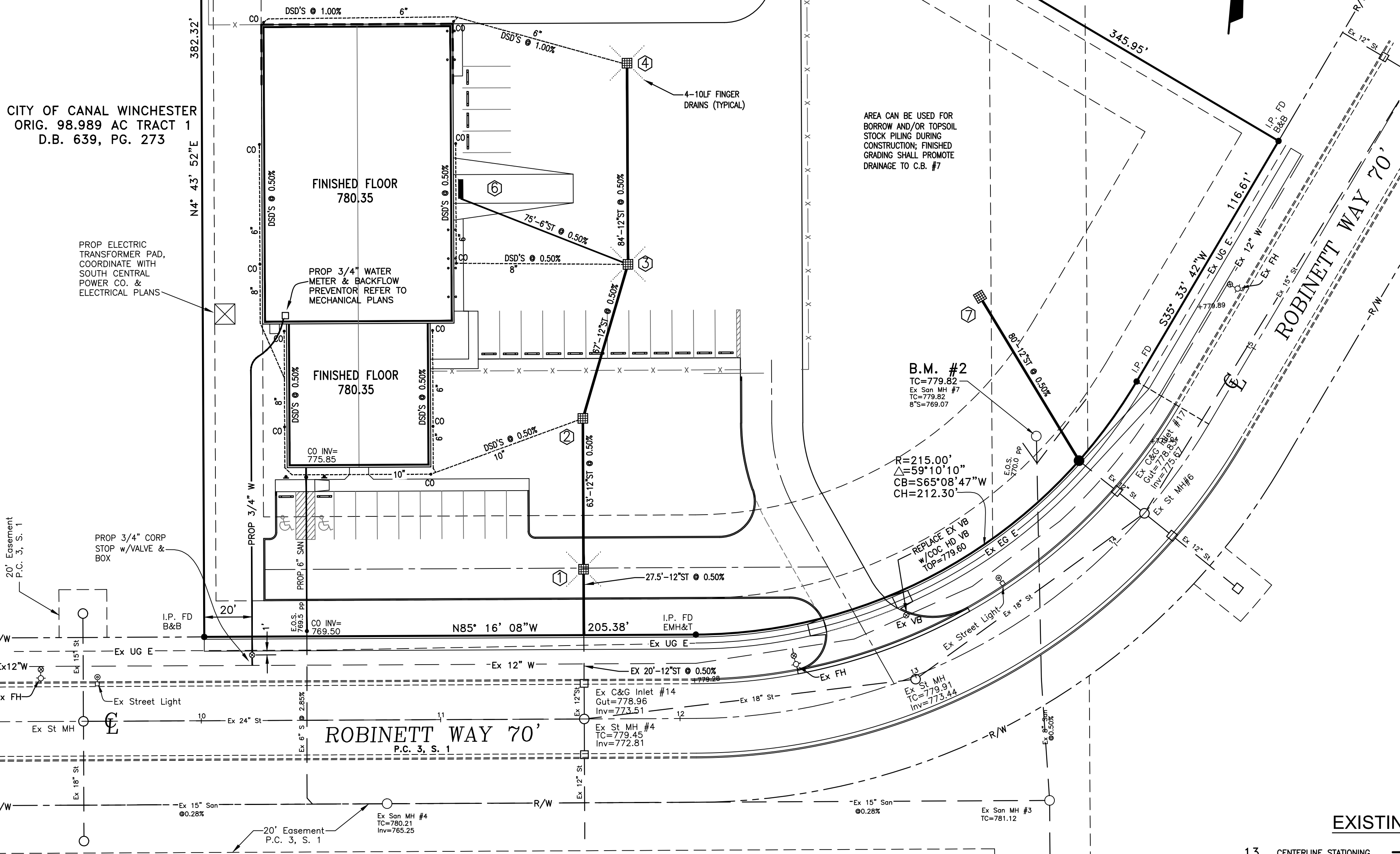


CITY OF CANAL WINCHESTER
ORIG. 83.586 AC
D.B. 646, PG. 849

B.M. #1
TOP IP=777.26
I.P. FD
B&B

CITY OF CANAL WINCHESTER
ORIG. 98.989 AC TRACT 1
D.B. 639, PG. 273

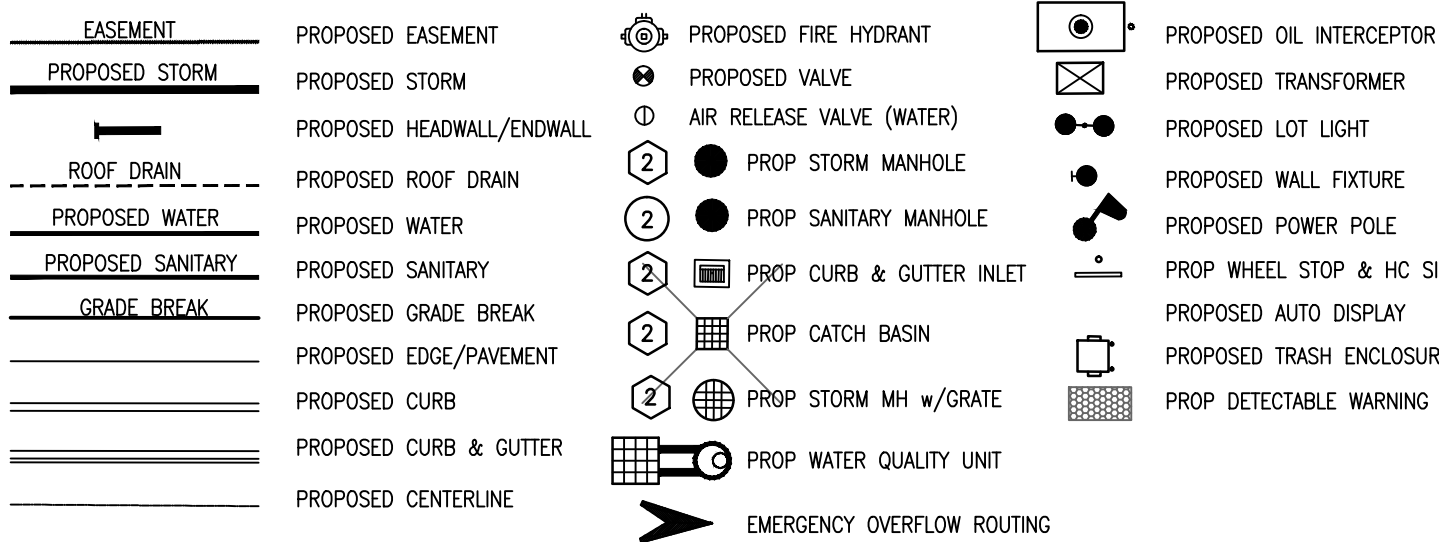
ROMMEL GROUP, LLC
3.000 AC
O.R. 1647, PG. 64
Par. #0420376010



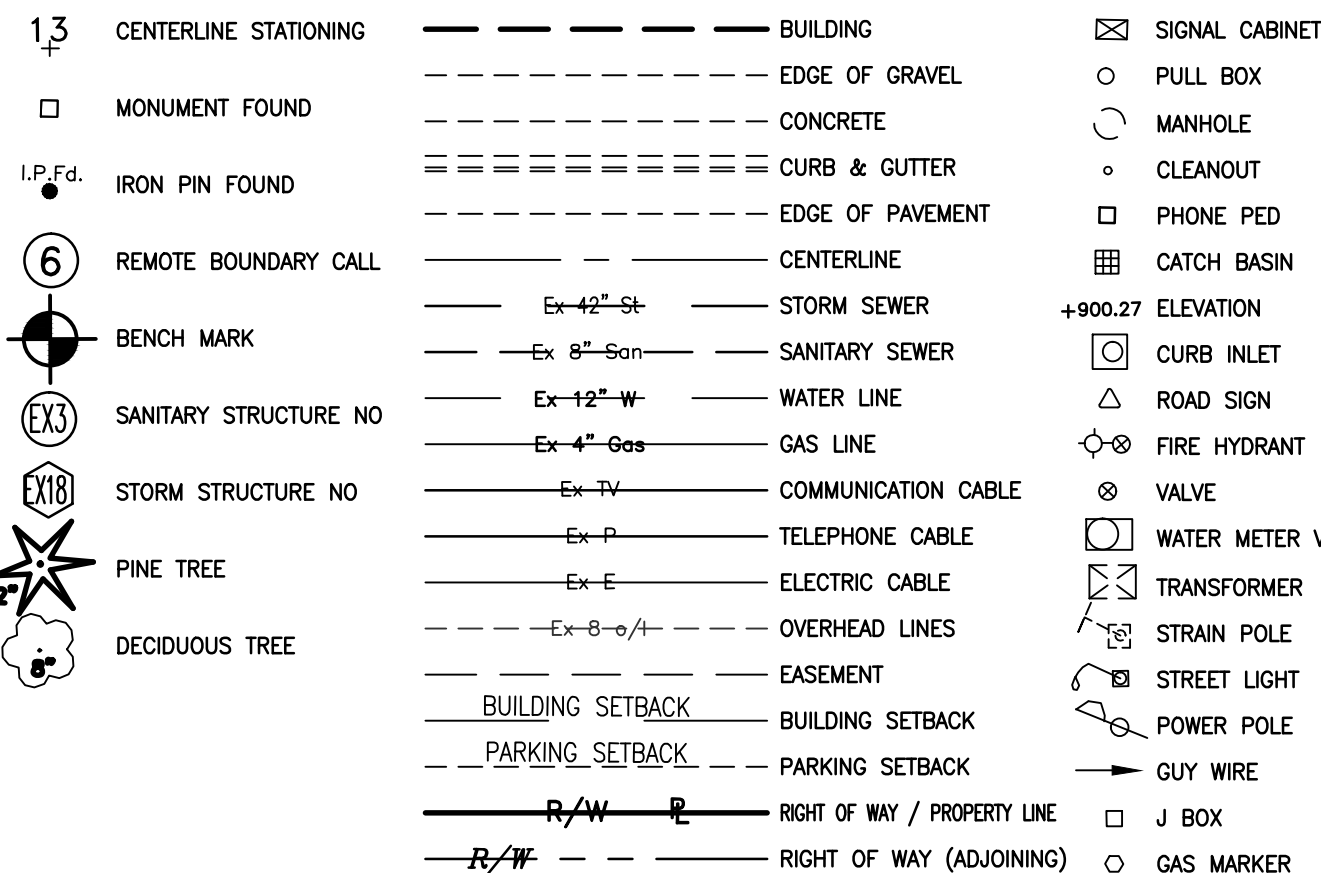
SANITARY SERVICE DIMENSION SUMMARY					
LOCATION	A	INVERT B	C	D	INVERT E F.F.
BUILDING #1	63'	769.50	3.00'	60' @ 5.58%	775.85 780.35

TYPICAL SANITARY SERVICE DETAIL
NO SCALE

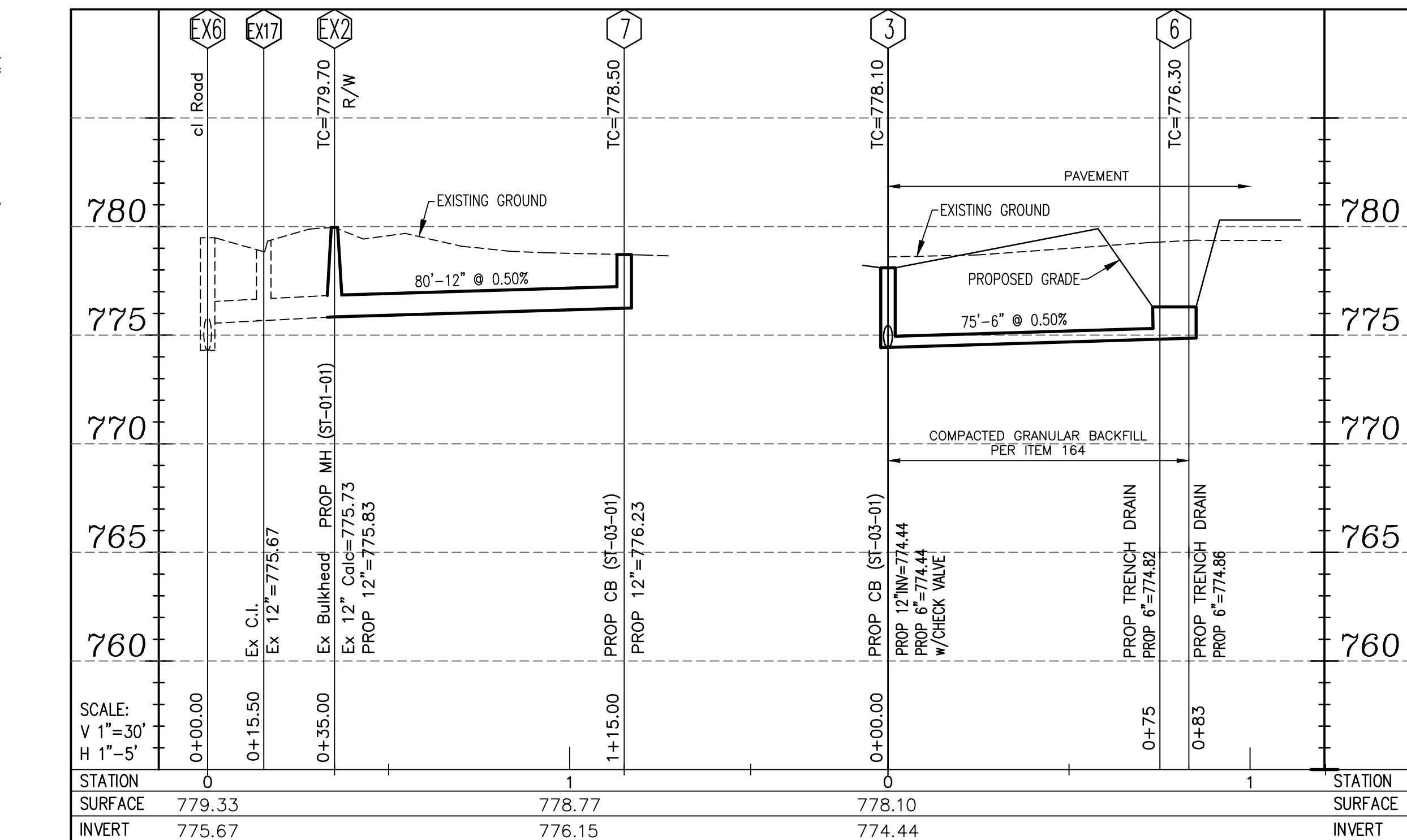
PROPOSED LAYOUT SYMBOLS



EXISTING CONDITION SYMBOLS



STORM SEWER PROFILES



UTILITY NOTES

THE CITY OF COLUMBUS "CMSC" AND THE CITY OF CANAL WINCHESTER REQUIREMENTS SHALL GOVERN ALL WATERLINE WORK. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.

THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

CONTRACTOR TO COORDINATE WITH MEP PLAN ON BUILDING'S WATER AND SANITARY SERVICE SIZE AND LOCATIONS.

ALL UTILITY WORK SHALL BE PERFORMED PER THE CURRENT CITY OF CANAL WINCHESTER, COORDINATE WORK WITH MATT PEOPLES, CITY OF CANAL WINCHESTER PUBLIC WORKS DEPARTMENT, (614) 834-5111.

CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, INVERT ELEVATION, AND CONDITION OF ALL EXISTING UTILITIES WHICH ARE INTENDED TO BE UTILIZED AS A CONNECTION POINT FOR ALL PROPOSED UTILITIES, PRIOR TO CONSTRUCTION.

CONTRACTOR TO ENSURE EXISTING UTILITIES ARE IN GOOD CONDITION AND FREE FLOWING (IF APPLICABLE). IF ELEVATIONS, SIZE OR LOCATION DIFFER FROM THE PLANS, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM OF 4.0' BELOW FINISHED FLOOR. SANITARY SEWER CLEAN-OUTS SHALL BE INSTALLED AT ALL PIPE BENDS AND ANGLES. CLEAN-OUTS SHALL BE PROVIDED ON SERVICE LINES EVERY 100 FEET.

ALL SANITARY PIPE MATERIAL SHALL BE A MINIMUM OF 6" PVC SDR-26 CONFORMING TO ASTM D 3034, WITH JOINTS PER ASTM D3212.

CONNECTION TO SANITARY CAN NOT BE MADE UNTIL PERMIT IS OBTAINED FROM CITY OF CANAL WINCHESTER.

ALL 3/4" THRU 2" WATER SERVICE PIPE SHALL BE HDPE 4710 ASTM-D3350 CELL CLASSIFICATION 445574E OR ASTM D-2239 OR D-2739 AWWA C-901 DR-9.

THE CITY OF COLUMBUS "C.M.S.C." 2012 EDITION SHALL GOVERN ALL WATER LINE WORK UP TO AND INCLUDING THE METER AND METER SETTING.

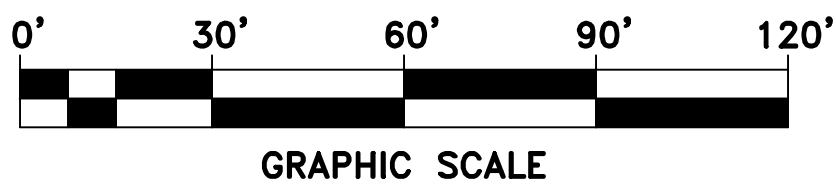
ALL WATER SERVICES ARE TO BE CONSTRUCTED PRIVATELY. NO CONSTRUCTION SHALL BE PERFORMED UNTIL A PERMIT TO TAP IS OBTAINED FROM THE CITY OF CANAL WINCHESTER.

NO GAS LINES ARE PRESENT AT THE PROPERTY LINES, CONTACT NORTH EAST NATURAL GAS COMPANY, MICHELLE BECK (740) 862-3300.

EXISTING UNDERGROUND ELECTRIC LINES ARE ALONG THE NORTH SIDE OF ROBINETT WAY, COORDINATE ELECTRIC SERVICE WITH SOUTH CENTRAL POWER COMPANY, RICHARD BLACKSTONE (614)361-9315.



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BENCH MARKS

NAVD 88 DATUM

SOURCE BENCH MARK, ELEVATION OBTAINED USING TOPCON RTK GPS EQUIPMENT AND OHIO DEPARTMENT OF TRANSPORTATION CORS/VRS NETWORK, NAVD 1988.

BENCH MARK #1 ~TOP OF IRON PIN AT THE NORTHWEST CORNER OF 3.000 ACRE TRACT.
ELEV=777.26

BENCH MARK #2 ~ TOP OF CASTING NORTH RIM OF SANITARY SEWER MANHOLE, NORTH SIDE OF ROBINETT WAY, IN SE CORNER OF 3.000 ACRE TRACT.
ELEV.=779.82

CITY OF CANAL WINCHESTER
ORIG. 83.586 AC
D.B. 646, PG. 849



GENERAL NOTES

1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
2. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
3. ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
4. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
5. H/C PARKING NOTES:
ALL GRADES SHOWN ON H/C PARKING AREAS MUST BE MAINTAINED.
PARKING-1:50 (2%) SLOPE MAX. IN ALL DIRECTIONS
ACCESS ROUTE- 1:20 (5%) RUNNING SLOPE MAX. 1:50 (2%) CROSS SLOPE MAX.
6. SEE LANDSCAPE PLAN & LIGHTING PLAN FOR PLACEMENT AND TYPE.

GRADING NOTES

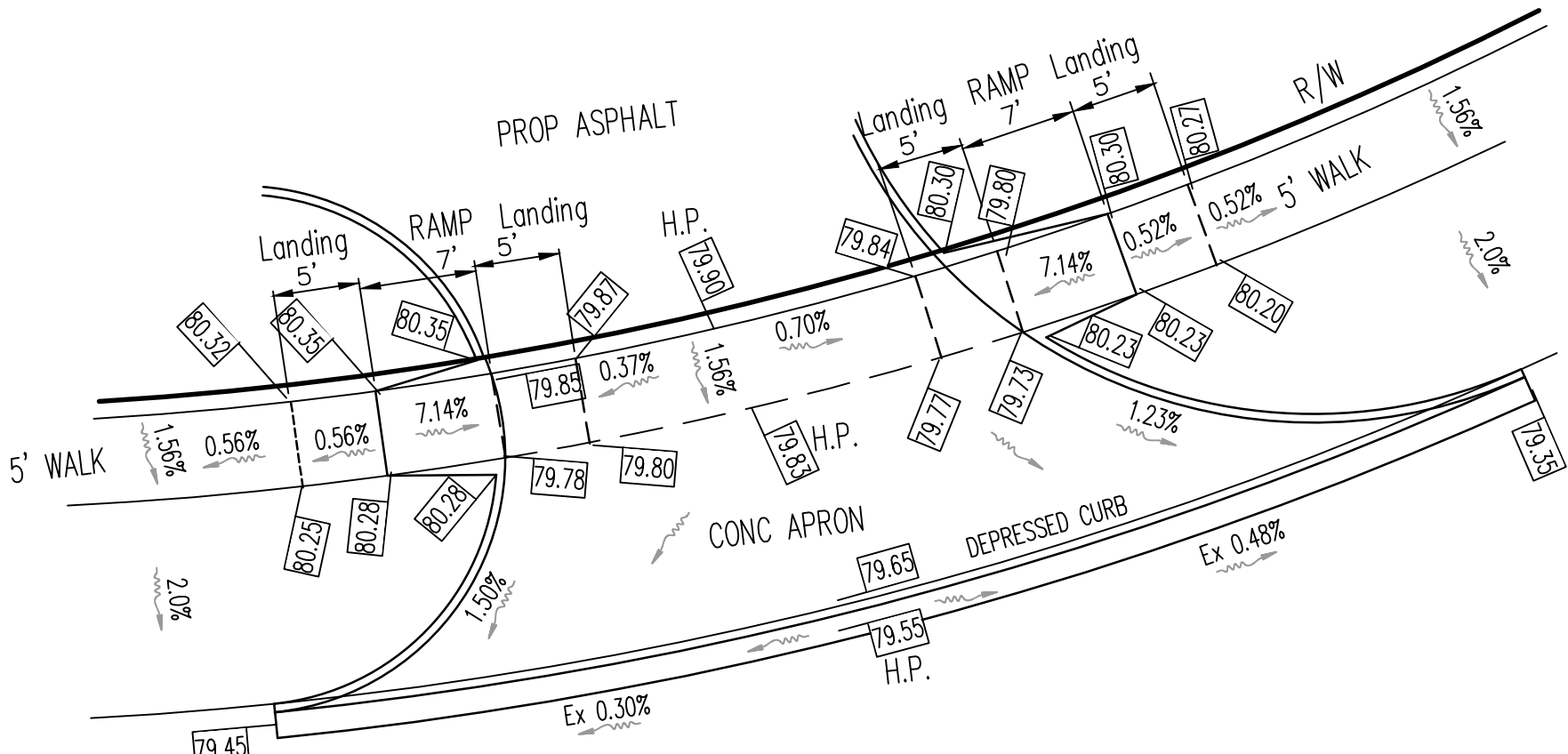
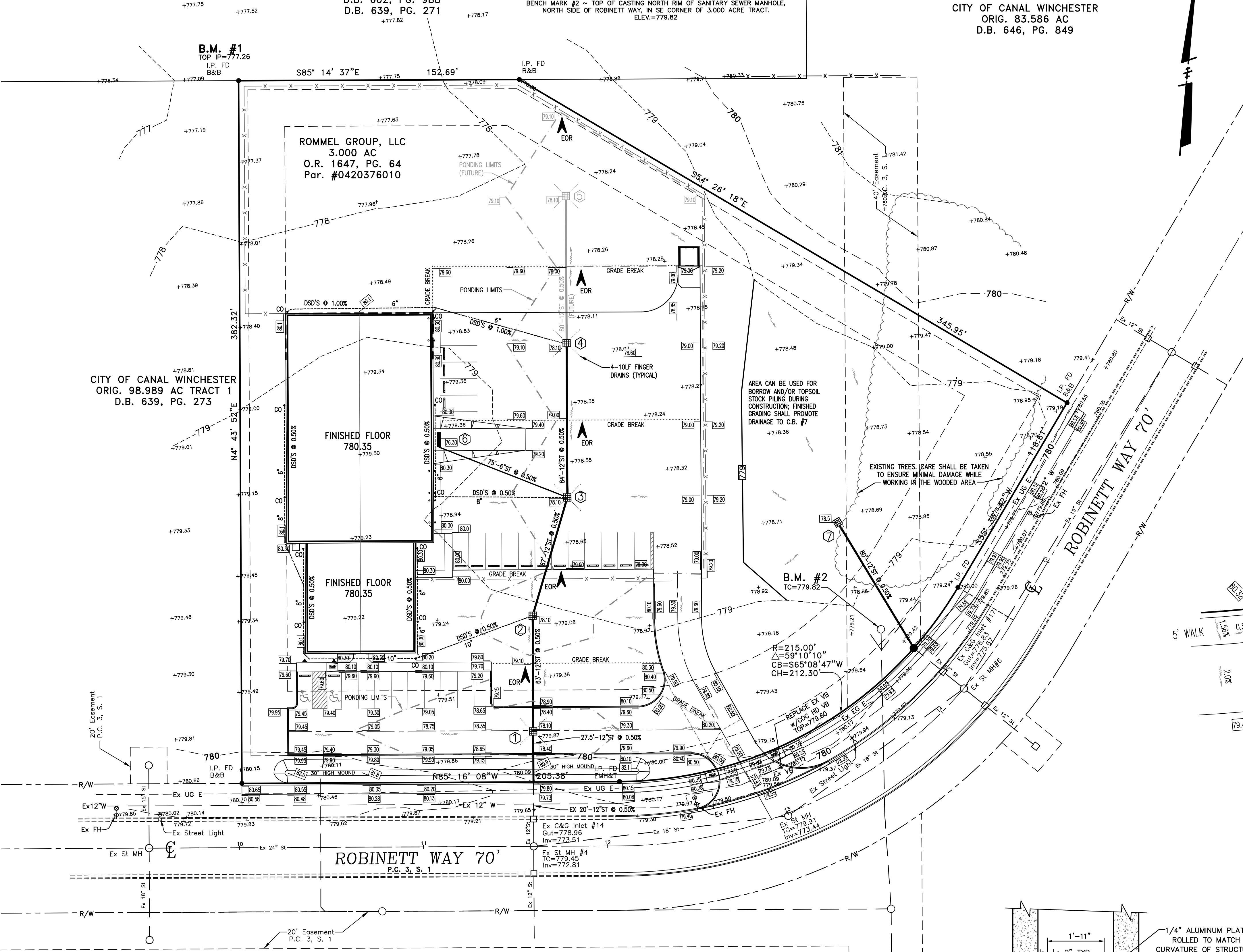
1. ALL SPOT ELEVATIONS SHOWN IN BOXES (04.10) ARE PROPOSED FINISHED GRADES, NOT SUB-BASE GRADES.
2. ADD 700 TO ALL SPOT ELEVATIONS SHOWN IN BOXES.
3. THE CONTRACTOR SHALL NOTIFY THE OHIO UTILITY PROTECTION SERVICE (800-362-2764) 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. PRIOR TO ANY CONSTRUCTION AND GRADING OPERATIONS THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION.
5. FIELD CONTROL IS TO BE MAXIMIZED IN THE GRADING OF AREAS WITH A SLOPE OF LESS THAN 1.5% TO MINIMIZE THE OCCURRENCE OF UNWANTED PONDING.
6. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT, THE SITE GRADING, EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION AND MATERIAL SPECIFICATIONS.
7. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT (IF ONE IS AVAILABLE). NOTIFY PROJECT ENGINEER IF ANY UNSUITABLE SOILS ARE FOUND.
8. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES.
9. CONTRACTOR SHALL PROVIDE BUTT END JOINTS TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE. BUTT END JOINTS BETWEEN EXISTING AND PROPOSED ASPHALT SHALL HAVE A HOT TAR SEAL JOINT.

STORM WATER MANAGEMENT

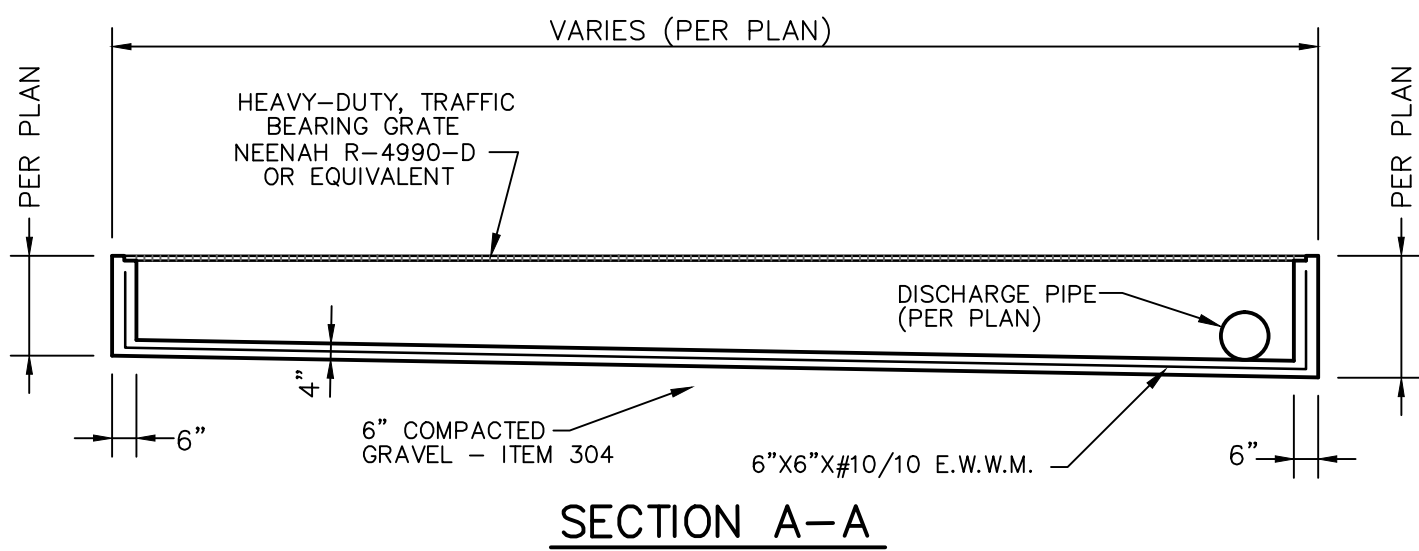
WATER QUALITY FOR THIS PROPERTY HAS BEEN PROVIDED IN THE EXISTING BASIN AT THE WESTERLY END OF ROBINETT WAY, THIS WAS CONSTRUCTED AS PART OF THE DEVELOPMENT BY THE CITY OF CANAL WINCHESTER.

STORM WATER DETENTION FOR THIS PROJECT IS BEING PROVIDED IN THE AREAS DELINEATED AS "PONDING LIMITS" SHOWN HEREON.

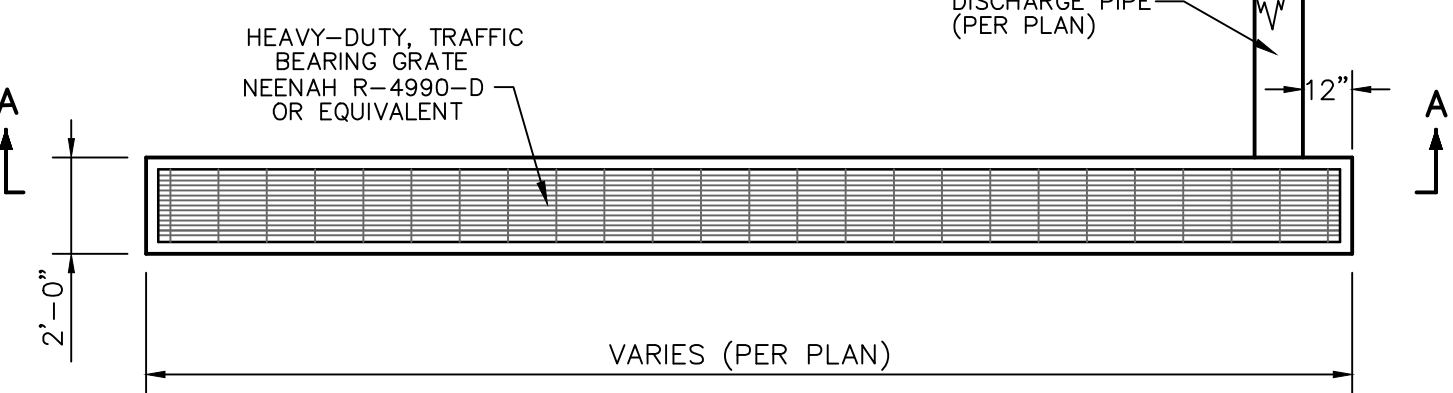
EROSION CONTROL IS TO BE INSTALLED PER THE ATTACHED SWPPP SHEETS NOS. 7 AND 8. AN NOI PERMIT FROM THE OHIO EPA WILL BE REQUIRED.



CURB RAMP GRADING DETAIL
1"=10'



SECTION A-A



PLAN VIEW
TYPICAL TRENCH DRAIN DETAIL
(OR APPROVED EQUAL)

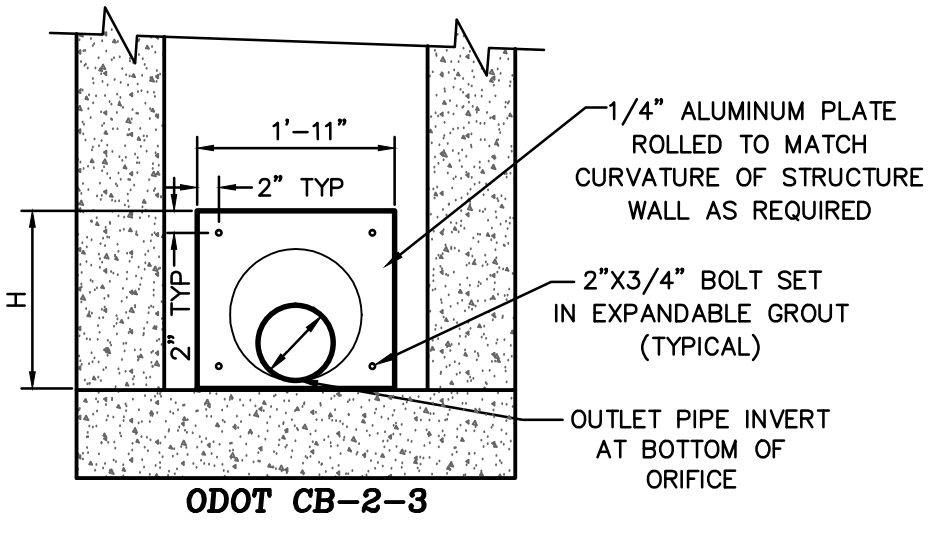
SITE STORMWATER DATA

(SEE STORMWATER CALCULATIONS FOR ADDITIONAL DETAILS)

STORM EVENT (yr)	PRE DISCHARGE RATE (cfs)	POST DISCHARGE RATE (cfs)	POST PONDING VOLUME (TOTAL)	POST PONDING ELEVATION (TOTAL)
1	1.57	1.51	2,170 CF	778.49
2	2.57	1.53	3,460 CF	778.59
5	3.93	1.55	5,141 CF	778.70
10	5.06	1.56	6,517 CF	778.78
*25	6.86	1.57	8,695 CF	778.89
50	8.50	1.59	10,655 CF	778.97
100	10.26	1.60	12,808 CF	779.06
*25 = CRITICAL STORM			EOR ELEV	779.10

PROPOSED LEGEND

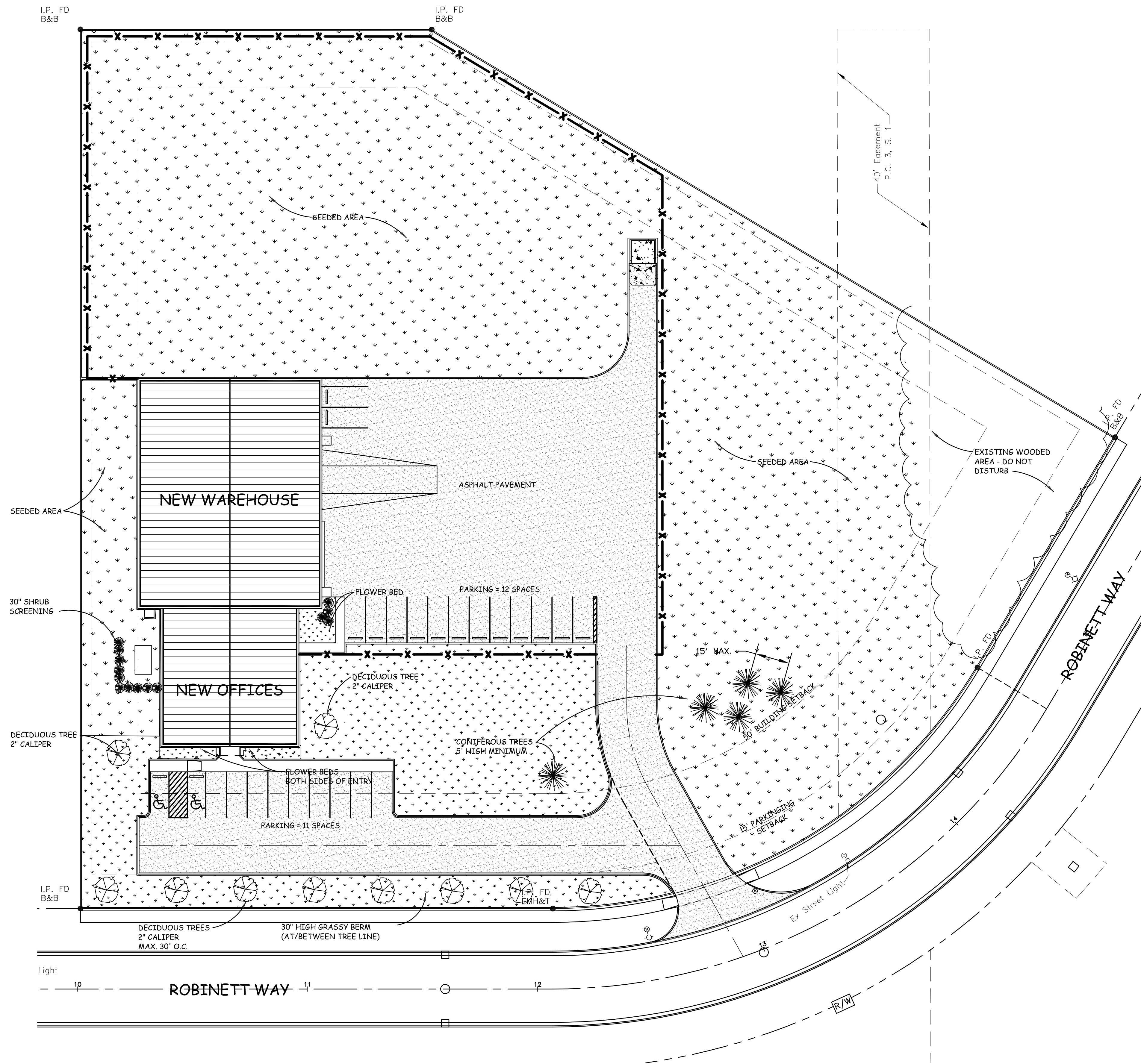
- PROPOSED STORM
- ROOF DRAIN
- 100 YEAR PONDING LIMITS
- PROPOSED CONTOUR
- PONDING LIMITS (ELEV=779.10)
- PROPOSED GRADE BREAK
- EMERGENCY OVERFLOW ROUTING
- PROP STORM MANHOLE
- ROCK CHANNEL PROTECTION
- PARKING SIGNAGE
- PROP CATCH BASIN
- PROPOSED SPOT ELEVATION (ADD 900 TO SPOT SHOT)
- DRAINAGE ARROW



ORIFICE PLATE DETAIL
NO SCALE



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LANDSCAPE SCHEDULE				
QUANTITY	SIZE	SYMBOL	SCIENTIFIC NAME	COMMON NAME
8	2" CAL..		Gleditsia triacanthos inermis	THORNLESS HONEYLOCUST
2	2" CAL..		Cercis canadensis	EASTERN REDBUD
5	5' HGT.		Picea abies	NORWAY SPRUCE
10	30" HGT.		Taxus - baccata	TAXUS - Shrubs
			FLOWER BED by owner	



SEM PARTNERS, Inc.
167 South State Street • Suite 200
Westerville, Ohio 43081
614.794.3100 • 614.794.3088 fax
www.sem-architects.com

In association with
Elter Building Systems, Inc.

Project Owner:
REI Telecom

Project Title:
New Office/ Warehouse
7890 ROBINETT WAY,
CANAL WINCHESTER, OHIO 43110

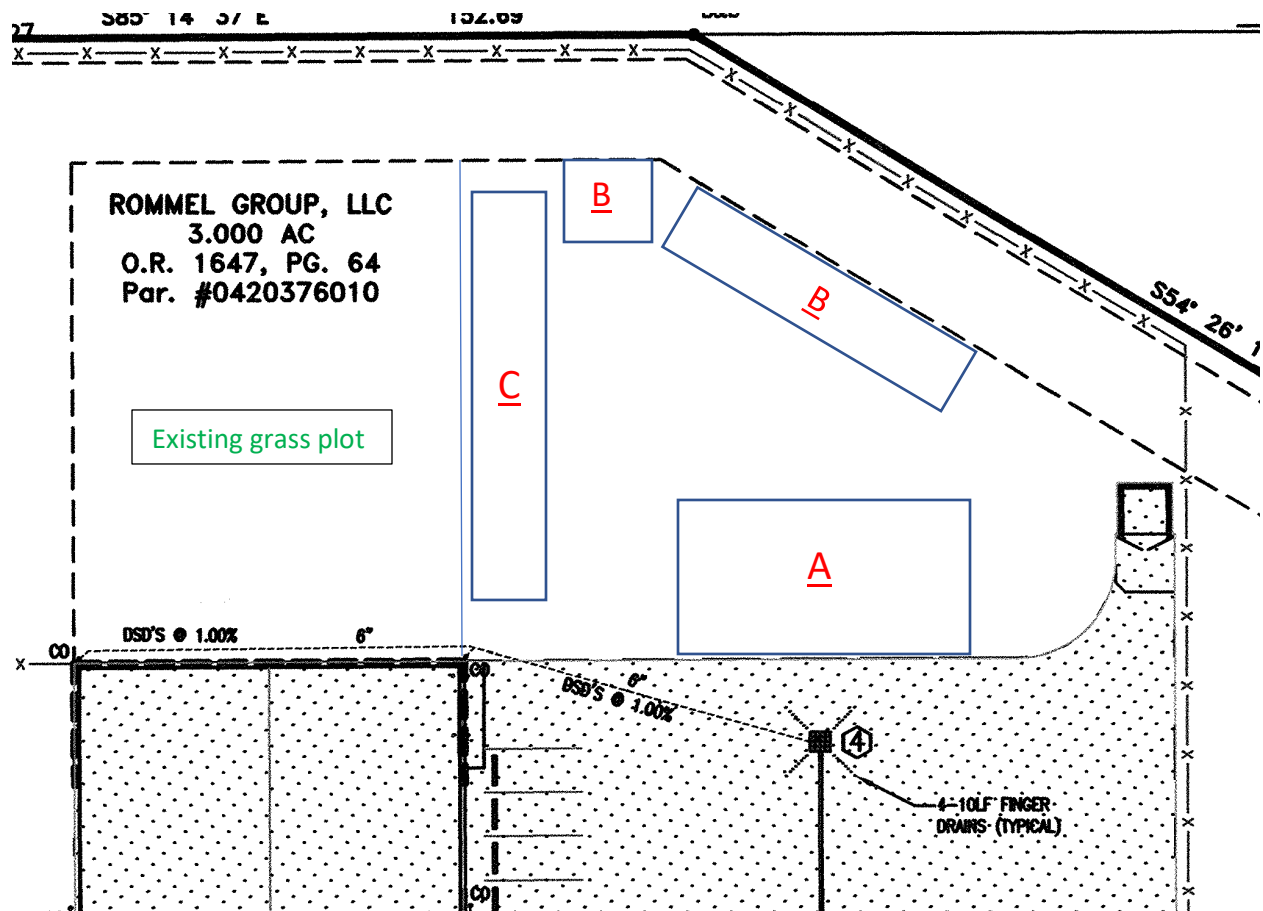
Drawing Title:
LANDSCAPE PLAN

Seal:

Issues:
REVISED PER
ZONING COMMENTS

Date: June 9, 2014
Project #: 2001401
Dwg #: L0.1

PROPOSED EXPANSION USAGE



1. Extend existing parking area north converting grass area to gravel storage for equipment parking.
2. Existing grass plot will remain directly behind current structure.
3. Gravel starting point will begin at structure's NE corner traveling north to fence, following existing fence placement east to current asphalt.
4. Graveled parking area will be bordered by current asphalt (parking lot) south, fencing north and northeast and grass west.

Equipment Placement Key

- A – large 5th wheel style enclosed generators
- B – new construction equipment (for sale)
- C – smaller towable generators

Development Plan

Strip / excavate 13,500 sq. ft. and remove from site

Grade lot

Install Geo-Fabric "D" on excavated base

Apply 6" of limestone # 2's and vibra-compact

Apply 4" of limestone # 304's and vibra-compact

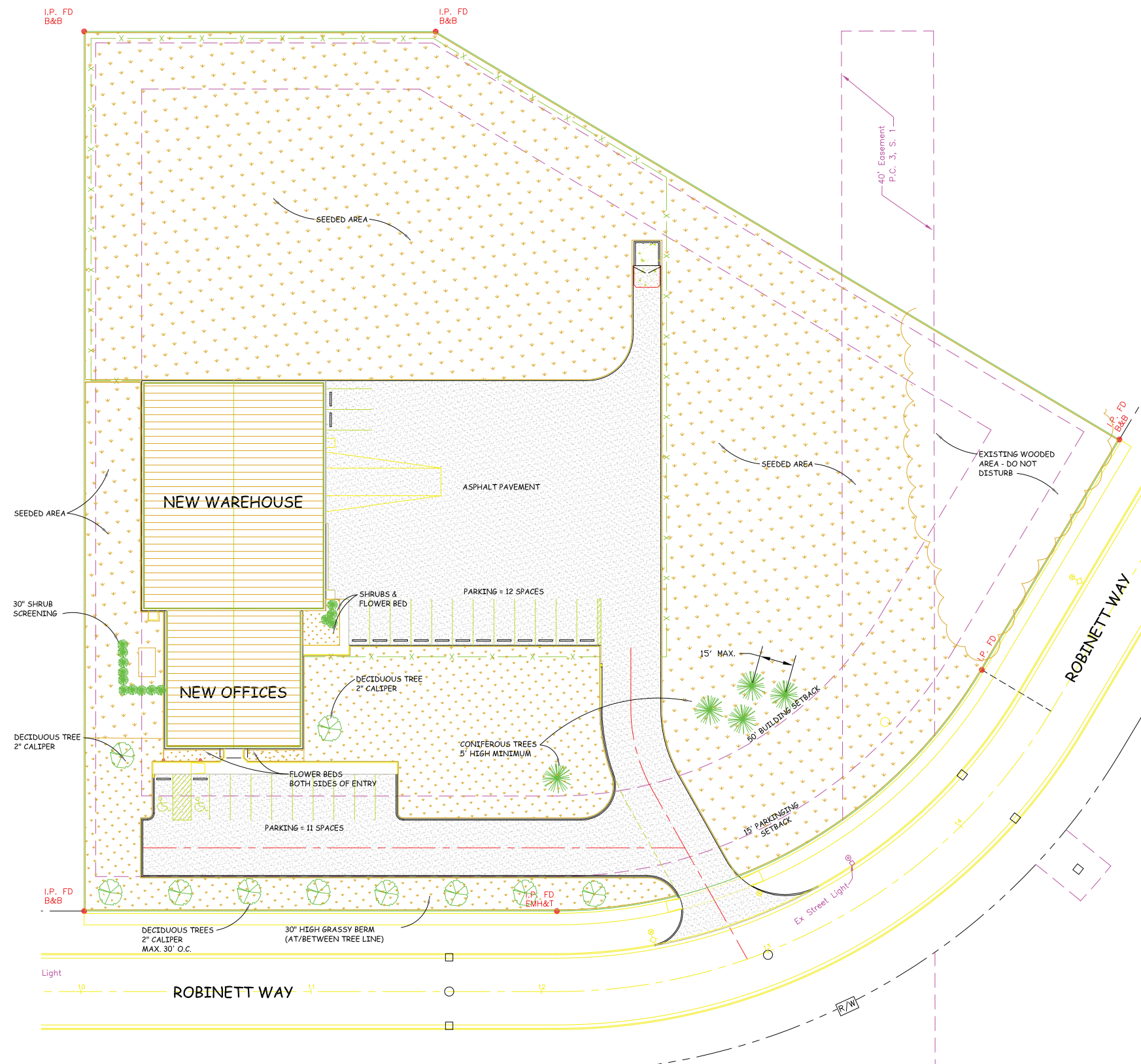
Apply 2" of limestone # 57's and vibra-compact

Backfill as necessary beyond excavated area, remove overburden

Remove any staking or silt fencing

Hand grade along and under all fencing

Sow grass seed along west side of gravel and north / northeast side of fence



1 LANDSCAPE PLAN

SCALE: 1" = 30'

In association with Elter Building Systems, Inc.		
Project Owner	Rommel Group LLC P.O. Box 358 Groveport, OH 43125	
Project Title	New Office/Warehouse for REI Telecom 7890 Robinett Way Canal Winchester, OH 43110	
Drawing Title	LANDSCAPE PLAN	
Scale	Issue	Date: June 20, 2014
	FOR PERMIT	Project #: 2001401
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